



DEVELOPMENT PERMIT NO. DP001263

591 BRADLEY HOMES LIMITED
Owner(s) of Land (Permittee)

591 BRADLEY STREET
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description: **LOT 2, NEWCASTLE TOWNSITE, SECTION 1, NANAIMO DISTRICT , PLAN VIP60189**

PID No. 023-004-169

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site and Parking Plans
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details
Schedule E Riparian Restoration Vegetation Management Plan

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 6.3.1.4 Location and Siting of Buildings and Structures to Watercourses and the Sea* – to reduce the minimum required watercourse setback as measured from the top-of-bank of the Millstone River from 30m to 0m.
2. *Section 6.5.1 Projections into Yards* – to reduce the minimum required setback for an underground parking structure from 1.8m to 0m.
3. *Section 7.5 Siting of Buildings* – to reduce the minimum required front yard setback from 6.0m to 4.5m.

CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site and Parking Plans prepared by Raymond de Beeld Architect Inc., dated 2023-JAN-26, as shown on Schedule B.
2. The development is in substantial compliance with the Building Elevations and Details prepared by Raymond de Beeld Architect Inc., dated 2023-JAN-26, as shown on Schedule C.
3. The development is in substantial compliance with the Landscape Plan and Details prepared by Victoria Drakeford Landscape Architect, dated 2022-JAN-14, as shown on Schedule D.
4. Development shall be in accordance with the Riparian Restoration Vegetation Management Plan prepared by Victoria Drakeford Landscape Architect, dated 2023-JAN-20, as shown in Schedule E, and bonding equal to 100% of the value of the vegetation restoration works to be provided prior to building permit issuance and retained for a 3-year maintenance period.
5. Compliance with the Riparian Areas Protection Regulation Assessment Report prepared by Toth and Associates Environmental Services, dated 2023-JAN-26, and its recommendations, including:
 - A detailed erosion and sediment control plan to be provided prior to building permit issuance to ensure that overland flows are not directed to ravine side slopes, both during and after construction; and
 - A post-development report to be submitted to the City and Province within six months of project completion to ensure that no encroachment has occurred within the Streamside Protection and Enhancement Area (SPEA) setback.

6. Installation of permanent fencing and signage, as per the City of Nanaimo aquatic setback fence standards, prior to building permit issuance.
7. Registration of a statutory right-of-way with a width of 2.0m adjacent to Bradley Street to accommodate required frontage works (including sidewalk, curb, etc.), prior to building occupancy.
8. Registration of a statutory right-of-way to secure public access for the existing trail from Millstone Avenue to Bowen Road that crosses the property as shown on Schedule B, prior to building occupancy.
9. Registration of a vegetation protection Section 219 covenant on the subject property as shown on Schedule B to replace existing charge VIP60191, prior to building permit issuance.
10. Registration of Section 219 covenant prior to building permit issuance to secure the geotechnical assessment prepared by Lewkowich Engineering Associations Ltd., dated 2022-JAN-20, to require any development of the site to follow the geotechnical assessment's recommendations, and to save harmless the City.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THE
27TH DAY OF FEBRUARY, 2023.

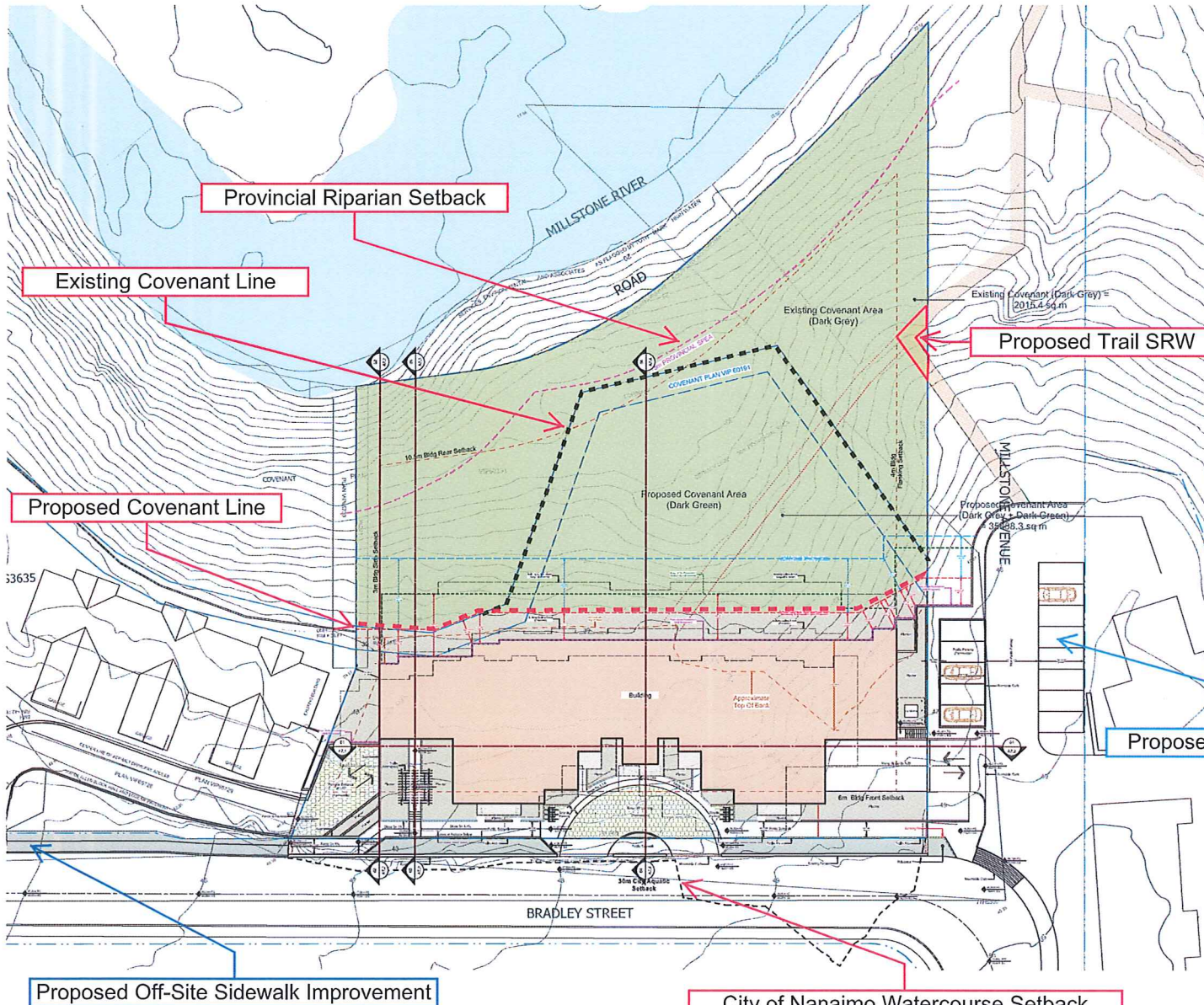

Corporate Officer
Sheila Gurrie
Corporate Officer
City of Nanaimo

^{18T}
November 07, 2023
Date

CH/bb

Prospero attachment: DP001263

SITE AND PARKING PLANS



1 Project Data

Project Description:										
Project Name: Bradley Multi-Family										
Site Address: 591 Bradley St, Nanaimo, BC										
Legal Address: Lot 2, Nanaimo Township, Section 1, Nanaimo District, Plan V401183										
Zoning: R10										
Property Area		ft ²	m ²	Notes						
		6,887	637							
Subtotal Areas										
Floor Level	Total Area (ft ²)	Total Area (m ²)	GFAT (ft ²)	GFAT (m ²)						
L1 Floor	0	0	0	0						
L2 Floor	15,242	1,423	6,326	586						
L3 Floor	12,641	1,167	6,769	626						
L4 Floor	11,509	1,069	10,225	948						
L5 Floor	11,175	1,039	10,281	951						
L6 Floor	18,176	1,695	10,818	1,011						
Total Residential	71,319	6,631	48,827	4,511						
Total Units										
Unit	Type	L1	L2	L3	L4	L5	L6	Totals	Unit Count	%
2 Bedroom + Den	A	2	2	2	2	2	2	14	14	100%
	B	2	2	2	2	2	2	14	14	100%
	C	2	2	2	2	2	2	14	14	100%
2 Bedroom	A	2	2	2	2	2	2	14	14	100%
	B	2	2	2	2	2	2	14	14	100%
	C	2	2	2	2	2	2	14	14	100%
1 Bedroom + Den	A	1	1	1	1	1	1	7	7	100%
	B	1	1	1	1	1	1	7	7	100%
	C	1	1	1	1	1	1	7	7	100%
1 Bedroom	A	1	1	1	1	1	1	7	7	100%
	B	1	1	1	1	1	1	7	7	100%
	C	1	1	1	1	1	1	7	7	100%
Studio	A	1	1	1	1	1	1	7	7	100%
	B	1	1	1	1	1	1	7	7	100%
	C	1	1	1	1	1	1	7	7	100%
Totals		5	6	6	6	6	6	36	36	100%

Requirement	Required / Allowed	Proposed	100% Compliance %
Residential	4000	226	5.65%
Maximum Lot Coverage (%)	21.2%	11.6%	55%
Maximum Lot Coverage (sqft)	2,225	1,511	68%
Maximum Floor Area Ratio (FAR) (0.25 Parking)	1.00	0.78	78%
Maximum Residential Unit (LR per hectare)	62	65	105%

Requirement	Required / Allowed	Proposed	100% Compliance %
Front Yard Setback	6m	4.10m	68%
Side Yard Setback	1.5m	0.10m	7%
Side Yard Setback (Rear)	5m	3m	60%
Front Yard Setback (Front)	6m	4m	67%
Underground Parking Front Setback	1.00m	0.00m	0%
Maximum Building Height	12m	13.6m	113%
Number of Storeys	3	4	133%
Aquatic Setback - City of Nanaimo (Top of Bank)	15m	5.7m to 11.60m	38% to 77%
Aquatic Setback - RAPP (Min SPA Setback)	15m	24.7m to 62.7m	165% to 418%

Use Type	Zone	No. of Units	Bylaws Parking Requirements	Parking
Studio	R10	7	1.42	10
1 Bedroom	R10	7	1.42	10
2 Bedroom	R10	14	1.42	20
3 Bedroom	R10	0	1.42	0
Total Parking Required				40
Parking Provided				41

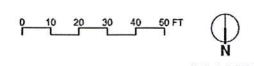
Parking Types	Compliance Ratio	Ratio Used	Parking Required	Proposed Parking	Variance
Standard Car Parking (Total Required)	2.75	1.00	14	14	0
Standard Car Parking (Max)	2.80	4.00	14	28	14
Accessible Parking (150:1 per 50)	3.70	6.00	3	4	1
Motorcycle	-	1.00	22	3	-19
EV Parking (Required (Standard))	-	2%	1	0	-1
EV Parking (Required (Planned))	-	7%	0	0	0
Loadable Space	-	0	0	1	1
Totally (Not Including Loading Space)			24	24	0

Bylaws Parking Requirements & Provided	Ratio	Required Parking	Parking Provided	Variance
Bylaw Term - Standard Parking	0.5	6	6	0
Bylaw Term - Vertical Parking	0.5	28	28	0

SITE PLAN NOTES:
Survey based on Beach Plan of Williamson & Associates, dated Jun 14, 2016, No. #10009-L.

LEGEND:

- Property Line
- Building Setbacks / Top of Bank
- Provincial SPA
- City Aquatic Setback
- Extent of covenant & excavation line (Existing)
- Extent of covenant & excavation line (Proposed New)
- Extent of covenant & excavation line (Original Scheme)
- Building Above (Original Scheme & Proposed New)



BUILDING ELEVATIONS AND DETAILS

MATERIALS LEGEND:

- AL1 Aluminum Storefronts - Clear Anodized
- AL2 Aluminum Window Grille - Clear Anodized
- AL3 Aluminum Overhead Door - Clear Anodized

- CN1 Concrete - Architectural
- FH1 Fiber Cement Siding - Iron Grey
- FP1 Fiber Cement Panels - White
- WD1 Timber Wood
- MT1 Metal Flashing - Grey
- GL1 Glass Railing/Glass
- LT1 Lights
- SN1 Signage
- VW1 Vinyl Windows & Doors - Grey

GW Green Wall (Refer to Landscape Drawings)

MATERIAL BOARD:



3 WEST ELEVATION



2 SOUTH ELEVATION

MATERIALS LEGEND:

- AL1 Aluminum Storefronts - Clear Anodized
- AL2 Aluminum Window Grille - Clear Anodized
- AL3 Aluminum Overhead Door - Clear Anodized
- CN1 Concrete - Architectural
- FH1 Fiber Cement Siding - Iron Grey
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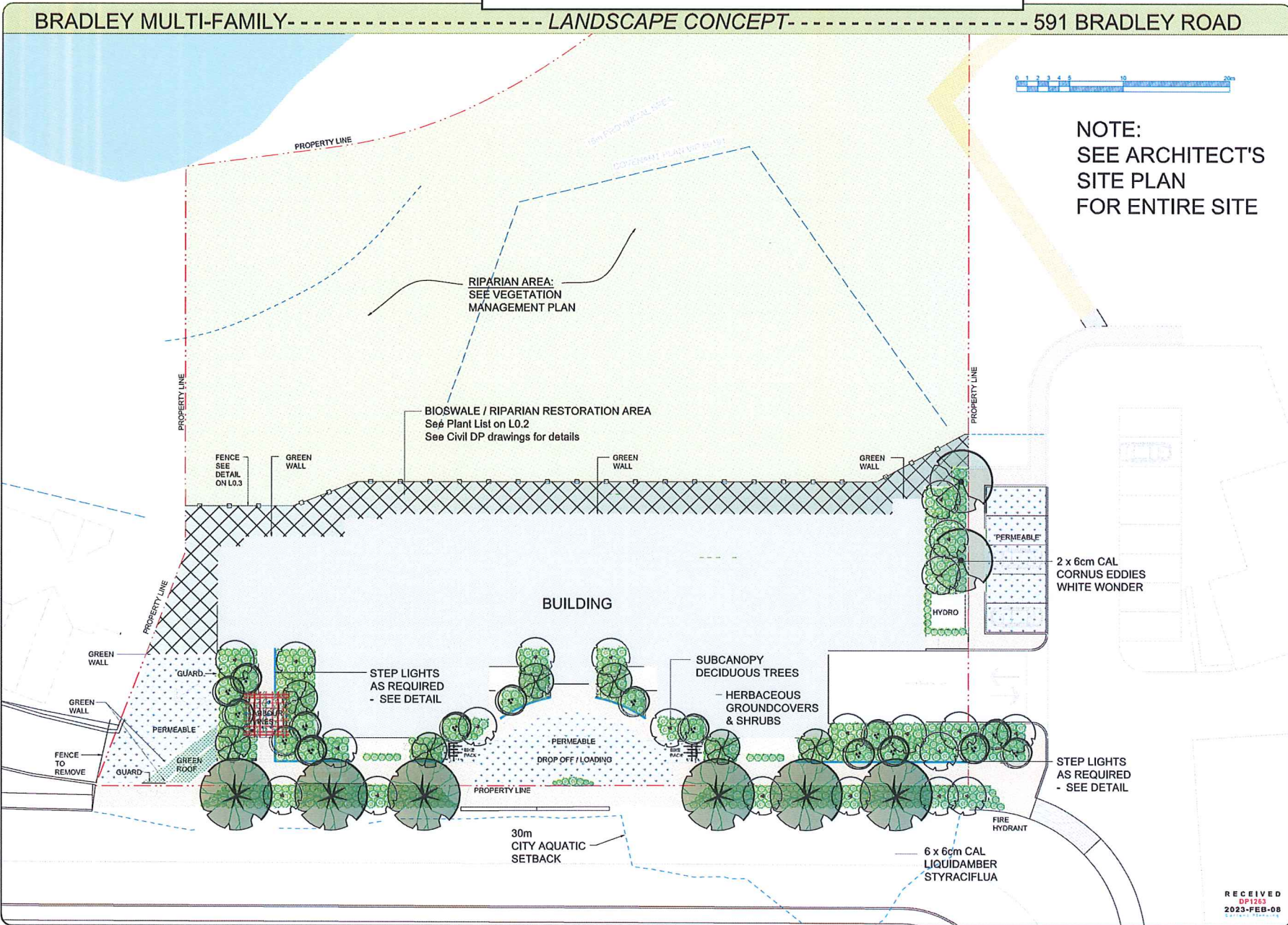


1 EAST ELEVATION

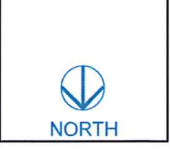


2 NORTH ELEVATION

Development Permit No. DP001263 Schedule D
 591 Bradley Street
LANDSCAPE PLAN AND DETAILS



NOTES:
 For grading information, see Civil & Architectural drawings.



REVISIONS:

Issued for DP - 2021Dec23
Issued for Coordination - 2022Jan13
Issued for DP - 2022Jan14
Call Comments - 2023Jan23



PROJECT:

**591 BRADLEY STREET
 NANAIMO, BC**

SITE LEGAL DESCRIPTION:

Lot 2, Newcastle Townsite, Section 1, Nanaimo District, Plan VIP00189

SHEET TITLE:

**CONCEPTUAL
 LANDSCAPE
 PLAN**

SCALE: 1:200	DATE: DEC. 20, 2021
DRAWN: DR	CHECKED: VJD
PROJECT NUMBER: BRADLEY STREET 2021	
DRAWING NUMBER: L0.1 - DP	

RECEIVED
 DP 1263
 2023-FEB-08

RIPARIAN RESTORATION VEGETATION MANAGEMENT PLAN

**RIPARIAN Restoration Vegetation Management Plan
591 Bradley Street
Nanaimo BC
January 20, 2023**

1.0 INTRODUCTION

General Comments

- .1 REFERENCES for all Landscape work:
- BCSLA/BCNTA Landscape Standard, Latest Edition,
 - City of Nanaimo Manual of Engineering Standards and Specifications, latest edition.
 - Toth and Associates:
 - Summary of the environmental assessments conducted for proposed development of 591 Bradley Street (PID# 023-004-169), Nanaimo. January 11 2022
 - RAPR 2022
 - TRPA 1112022
 - Landscape Plans L0.1, L0.2, L0.3

The Landscape Contractor shall make him/herself aware of all prevailing standards Referenced therein and execute work accordingly as it will govern all landscape preparations, execution and deficiencies.

.2 SITE CONDITIONS

Location of all existing utilities are to be verified prior to working on site.

“Call First” Line at 1 800 474 6886

1.1 Site Overview

The site is bounded by the Millstone River to the south, Bradley Street to the north, a townhouse complex to the east and an apartment building to the west.

1.2 Objectives:

- To protect the area to the south of the Covenant/Watercourse Leave Strip/Excavation Boundary (see A1.1 RdB)
- To replant indigenous trees in this area south of the Covenant/Watercourse Leave Strip/ Excavation Boundary as noted on L0.1 and L0.2

- To replant indigenous species in the bioswale/riparian restoration area, between the building and the Covenant/Watercourse Leave Strip/ Excavation area
- Install City of Nanaimo Environmental Fence along the Covenant/Watercourse Leave Strip/Excavation boundary prior to start of construction
- To remove the invasives species where this does not impact slope stability, see notes below
- To remove all the garbage and non-organic debris from the area

2.0 EXISTING TREES and SHRUBS

2.1 Existing vegetation

- .1 “The property consists of a steep south facing slope above the Millstone River, with a previously disturbed bench area near the upper north end of the property. The previously disturbed area consists of young bigleaf maple, introduced invasive English holly and common hawthorn with an understorey of Indian plum, introduced spurge laurel and Himalayan blackberry. The proposed development’s footprint would be within the previously disturbed young forest area. Below the proposed development footprint, the forest cover consists of mature Grand fir, Douglas-fir, and red alder, with an understorey of Indian plum, sword fern, salmonberry and Himalayan blackberry with a nearly continuous matting of invasive English ivy”. (TRPA, Toth and Associates, January 11, 2022)

2.2 Site Protection

- .1 Install City of Nanaimo Environmental Fencing along the Covenant/Watercourse Leave Strip/Excavation Boundary prior to construction.
- .2 Install silt fencing along the Covenant/Watercourse Leave Strip/Excavation Boundary during construction.
- .3 All existing and new plants, site services, curbs, paving, structures, and all other features shall be protected against damage during the work.
- .4 Appropriate measures shall be taken to ensure that no spillage of fuels, fertilizers, toxic construction materials, or other toxic wastes occurs, and where use of such materials is necessary, to ensure that adequate containment facilities and clean-up equipment are utilized.

- .5 No toxic or waste materials, fuels and fertilizers shall be stored adjacent to or dumped into water courses or any other water body either on or off the job site, or in a location where spillage could result in seepage into a watercourse
- .6 All toxic wastes and other material shall be disposed of in a manner acceptable to the Owner and in accordance with municipal, provincial and federal regulations.

3.0 NON-NATIVE INVASIVE PLANT MANAGEMENT

- o The following were the most common invasive plants identified on site:
 - o English Ivy
 - o Spurge Laurel
 - o Himalayan Blackberry (*Rubus discolor*)

It is the responsibility of the Contractor to identify and remove invasive plant species that may be on the site in the future.

Due to slope conditions and potential for repeated invasive removal to cause erosion, the recommendations are:

- Remove ivy from all the trees.
- Any other invasive removal to be conducted under the supervision of the Environmental Monitor.

3.1 Invasive Plant Removal Methods

See City of Nanaimo website

https://www.nanaimo.ca/docs/services/home-and-property/invasive_plants.pdf

4.0 REPLANTING

- 4.1 Replant replacement trees according to Toth and Associates TRPA 1112022 and Landscape Plans L0.1, L0.2 and L0.3.
- 4.2 Plant bioswale/restoration, see Landscape Plans L0.1 and L0.2

5.0 MONITORING/MAINTENANCE STRATEGIES

- 5.1 Monitoring and maintenance will take place for three years from the time of acceptance of Substantial Completion of the project.
- 5.2 Monitoring newly planted areas

SCOPE:

- .1 Removal of invasive plants by hand
- .2 Indigenous plants shall be allowed to regenerate naturally
- .3 Do not remove fallen leaves

Maintenance Procedures and Frequencies

Maintenance Program to be recorded in a Landscape Maintenance Monthly Report (see BCSLA Landscape Standard, Landscape Maintenance Section for a sample report).

Procedure	M	A	M	J	J	A	S	O	Frequency
Inspection		x	x	x	x	x	x	x	5 times a year
Litter removal									As required
Reporting		x		x		x		x	4 times a year
Invasive removal		x		x	x	x			4 times a year or as directed by Environmental Monitor
repair									As required
Tree hazard assessment									As required
Fire management		x	x	x	x	x	x		To reduce risk of ignition when necessary
Replacement planting	x						x		As compensation for invasive plant removal or hazard tree removal

5.3 Monitoring existing vegetation for invasive plants and newly planted areas,

SCOPE:

- .1 Landscape maintenance operations shall include the removal of all invasive plants, and the removal of all other weeds, as directed by the Environmental Monitor carefully retaining all native plants that are naturally regenerating
- .2 Appearance Standards: The area is intended to be wild, so an informal appearance is desirable with the weeds kept to a minimum. Plants should be kept healthy. Plants should not be trimmed. There should be a routine maintenance of moderate frequency and intensity, with regular monitoring to avoid deterioration. See form below.
- .3 The maintenance period shall be from the time of planting until three years from the date of Substantial Completion of the landscape works. The Environmental Monitor will provide the City of Nanaimo with a progress report every six months.

- .4 Maintenance operations for the planted shrubs and ground covers shall include:
 - (a) Weeding, being careful not to weed out naturally regenerating native plants; These weeding sessions should be done on a regular basis, at least four times a year.
 - (b) Invasive plant removal throughout the growing season.

- .5 Maintenance operations should, where possible, follow ecologically sound practices such as:
 - (a) Integrated Pest Management (IPM)
 - (b) Plant Health Care (PHC)
 - (c) Composting
 - (d) Application of Organic Mulches

- .6 Maintain irrigation system

6.0 PLAN REVIEW

As part of the monitoring process, an adaptive management approach will be applied to this Vegetation Management Plan. As inspections take place the health of the scheme will be determined and changes may be made, if necessary, to ensure the success of the planting.